

# 2011

## Property Inspection Report

**Prepared exclusively for:**

**Bob & Sarah Tinsdale**

2864 51st St., San Diego CA, 92115

Copy to Susan Brennan of Top Properties  
under the authorization of Client



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Dear Client,

Thank you for choosing **Housecall Property Inspections** to perform your home inspection. The goal of this inspection and report is to put you in a better position to make an informed real estate decision. This report is a general guide and provides you with some objective information to help you make your own evaluation of the

PLEASE NOTE: Most home inspectors use a canned report format generated with inferior software. Why? Because it's fast and get's the inspector on to his next job. The result is blocky, hard to follow content. We've come up with a better way. We write our reports by hand, word for word to be sure we don't miss out on important details. We take your purchase decision seriously and put forth extra effort to ensure our home inspection reports are as good as they can be.

not yet made yourself familiar with the SOP, I would encourage you to do so as it will enhance your understanding of the findings in this report.

It is important to note that this is not a "code compliance" inspection. Home inspectors are not specifically trained on building codes and do not have the authority to make a claim as to whether or not an item has been built, installed or is functioning according to current building codes. Only a building official or "Authority Having Jurisdiction" in your area can make this claim.

This property inspection report contains observations of those systems and components that, in the professional judgment and opinion of the inspector, are not functioning properly, are significantly deficient, unsafe, or are near the end of their service lives. If the cause for the deficiency is not readily apparent, the suspected cause or reason why the system or component is at or near end of expected service life is reported, and recommendations for correction or monitoring are made as appropriate. When systems or components designated in the InterNACHI® Standards are present but not inspected, the reason the item were not inspected is reported. For example, personal possessions in the home, items stored in the garage and vegetation blocking a part of the building exterior could prevent these areas from being inspected and the report shall reflect this.

The report is effectively a snapshot of the house - recording the conditions of the home on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that may manifest following the inspection. For your safety and liability purposes, we recommend that only licensed contractors evaluate and repair any critical concerns and defects that appear in this report.

This property inspection report has been prepared for your exclusive use as our Client. No use by third parties is intended or advised. We will not be responsible to any parties for the contents of the report, other than the party named herein. The report itself is copyrighted and may not be used in whole or in part without the express written permission of Housecall Property Inspections.

Again, thank you very much for entrusting us to conduct this inspection for you. We hope you found our services informative. We are available throughout the entire real estate transaction process to assist with any questions that may arise. Should you have any questions, please call or email us.

Good luck with your new home,



Darin Redding, CPI  
Housecall Property Inspections

## **Important: You Must Read All of this Report**

Additional pages may be attached to this report. Read them very carefully. This report may not be complete without the attachments.

### The following are outside the scope of this inspection:

1. Detached ancillary buildings (with the exception of the parking structures).
2. Hidden conditions that are located in concealed or inaccessible portions of the premises, such as items that are underground or contained within fixtures, walls, or within other closed portions of the building, or concealed by furnishings, personal property or vegetation.
3. Termites, dry rot, fungus, other pests, organisms, or rodents. By law, only a licensed pest control operator can inspect for these conditions.
4. Structural, geological, and hydrological stability or soils conditions; wave action reporting; any form of engineering analysis.
5. Technically complex systems or devices such self cleaning ovens, heat exchangers, radiant heating or components, alarm systems, fire detection systems, solar systems, air quality control systems, radio or computer controlled devices, automatic timer controls, elevators and dumbwaiters; satellite dishes.
6. Low voltage electrical systems, including but not limited to TV antenna, TV signal cables, telephones, intercoms, security speaker wires, automated equipment, landscape lighting.
7. Easements, right of way, boundaries, condition of title, zoning, previous use or occupancy determination, verification that existing structures and/or repairs were completed in accordance with local code requirements or that they were completed with a building permit, requirements of Americans with Disabilities Act (A.D.A.).
8. Environmental hazards, including but not limited to, asbestos, Chinese Drywall, lead, radon gas, formaldehyde, electro-magnetic fields, underground storage tanks, PCB's or other toxins.
9. Notification of product recalls.
10. Private water or private sewage systems or related equipment, such as wells, septic systems, sewage pumps, water softeners, water purifications systems.
11. Building or property measurement and value appraisal: determination of life expectancy; cost estimates for corrective work.
12. Swimming pools, hot tubs, spas, waterfalls, ponds, fountains, saunas, steam baths, or similar fixtures and related equipment unless noted otherwise in this report.
13. Cosmetic finishes and conditions; freestanding or portable equipment; landscaping and foliage; noise transmission; determination of odors.
14. Unique systems with which the inspector is unfamiliar or any component that is specifically listed as not inspected in this Inspection Report.

## Definition of conditions described by the inspector

The terms shown below can be found throughout the report and describe the condition of the item being inspected. Items in the body of the report and described as SAFETY or DEFECTIVE will also be shown on the inspection summary page which can be found at the end of this report. Items appearing on the summary page are of increased importance and should be corrected as quickly as possible.

**SERVICEABLE:** A condition, system or component that appeared to be functioning as intended at the time of inspection.

**MAINTENANCE:** Describes a condition, system or component that is serviceable but could benefit from routine maintenance, adjustment, etc.

**IMPROVE:** Indicates improvements which are recommended but not required. This may include items that could be upgraded to bring them up to modern building standards.

**MONITOR:** A condition, system or component that appeared to be functioning as intended and capable of safe usage in its present condition; however, the inspector's concern stated in the report should be monitored over time by a qualified person.

**SAFETY:** A condition which we feel poses a health or safety risk that can be reduced or eliminated with proper repair and/or upgrade. Some of the items in this classification may not have been required when the building was originally constructed and in this specific case would be considered safety upgrades or improvements.

**DEFECTIVE:** A condition, system or component that did not respond as intended using normal operator controls, was not able to be safely operated, was not functioning as intended, or was otherwise found defective.

**DEFERRED:** Describes an area, condition, system or component that could not be operated or inspected for the reasons stated. These may also be items outside our standards of practice, inaccessible or not functional. For deferred items we recommend further evaluation by a licensed contractor or other qualified professional.

**EVALUATE:** Describes an area, condition, system or component that is a source of concern to the inspector. It is recommended that these areas receive further evaluation by a licensed or otherwise qualified professional with experience in that particular condition, system or component. For example, if a moderate amount of cracking is noted in the foundation system, we would classify that area as evaluate. If the furnace emits a strange odor when running we would again mention the furnace be evaluated by a licensed HVAC technician.

## Inspection and Site Details

**Inspection Date:** 1/2/2011

**Inspection time:** 12:00PM – 4:00PM

**Client:** Bob & Sarah Tinsdale

**Agent:** Susan Brennan, Top Properties

**Property Address:** 2468 Willow Ave. San Diego, CA 92120

**Present for the inspection:** Buyer and buyer's agent

**Present for the review:** Buyer. Agent departed before the inspection was complete.

### Public Records

**Residence Type/Style:** Single family residential

**Year Built:** 1965

**Year Renovated:** Appears original with only slight modifications

**Square Footage:** 1652 sq. ft.

**Configuration:** 4BD/2BA

**Floors:** 1

**Lot Size:** 10000 sq. ft.

**APN:** 5574523684

**Garage/Carport:** Present and inspected

**Other outbuildings:** None

**Front Door Faces:** For the purposes of this report the front door faces West.

**Occupancy:** Vacant

**Temperature/Weather:** Approximately 60 degrees F / raining, windy.

**Ground/soil surface condition:** Wet, standing water in several locations around the home.

**Weather in last three days:** Unusual amounts of rain over the past 14 days.



## A. Foundation

Foundations and footings are part of the building's structural components. Many of these components are buried below grade, inaccessible to the homeowner, and otherwise hidden from view. We report signs of movement and the general condition of the readily accessible portions of the foundation. We do not certify that the foundation below neither in any way addresses the condition of the foundation nor do we certify that the floors to be level. Soil in the San Diego area is generally expansive and can move up and down. Due to the expansive nature of the soil in the San Diego area, we can make no representation as to the internal condition or stability of concrete footings and foundations except as exhibited by their performance. We report the presence or absence of foundation bolting, but do not identify size, spacing, location or adequacy of foundation bolting and bracing components or reinforcement systems. The older a building is the more likely it could benefit from seismic reinforcement or "retrofitting" and we routinely recommend further evaluation to determine if seismic upgrades are practical on pre WWII structures. We recommend further evaluation by a licensed pest control operator when moisture, moisture stains, insects, rot, or insufficient clearance or contact between soil and wood are reported because hidden damage or wood destroying insects or fungus may be present. Should you have present or future concerns regarding the foundation's condition, you are strongly advised to consult with a licensed Professional Structural Engineer for further evaluation.

Easy to follow progression bar so you can quickly find the report section that interests you



*Owners Note: Proper draining is critical to the future performance of the foundation. Trees and shrubs around foundation can affect soil moisture content and thus the foundation. Experts recommend that trees and shrubs be planted away from foundations, or that good root barriers be installed to prevent roots from getting under slab. Poor drainage away from slab, or ponding against it, can also affect foundation performance. If for any reason water ponds at any location near the foundation for any extended period of time (24 hours or more) drainage corrections will have to be made.*

How it was inspected: The crawl space was entered by the scuttle hole located at the South East corner of the perimeter foundation wall, the posts and... The exterior of the foundation wall was...

Useful and important tips throughout the report help you make the most from your investment

### Components

#### Under Floor Sub Area

- Main Access: Exterior access door, East side
- Accessibility: Good access
- Ventilation: Passive venting with screens around perimeter of foundation

### Perimeter Foundation

Materials: Poured concrete

Anchor Bolts: Foundation anchor bolts were noted at the home. The fasteners were not evaluated for adequacy, spacing, tension, size, etc.

### Interior Foundation

Materials: Additional poured concrete wall bisecting the home running in a North/South direction. Framing members bearing perpendicular to and running above this wall the full width of the structure

### Floor Framing

Materials: Conventional framing

### **Observations:**

**EVALUATE:** The bisecting concrete wall in the crawlspace show signs of possible movement as evidenced by a lateral crack running  $\frac{1}{4}$  the length of the wall. This could be an indication of structural distortion and movement. Of note: The interior door frames in some locations are not square and some of the doors do not latch as their locksets are misaligned. This could be due to normal settling due to the age of the home. A licensed structural engineer or foundation specialist should be contacted for further evaluation prior to the close of escrow.

**IMPROVE:** Soil is moist 24-36 inches deep. Water is ponding near the foundation. Insulation, plumbing systems and components. The crawlspace is not properly ventilated.

Detailed illustrations are included to describe a concept noted in the inspection report

due to water damage to the home.

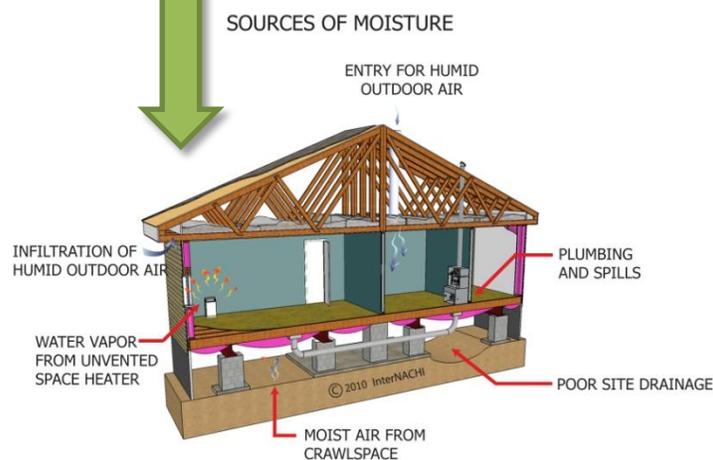


Figure 1: sources of moisture in a home

**Areas of the foundation system that were hidden:** None.

I found one hairline crack running vertically on the foundation wall at the garage. There are no visible signs of displacement at this crack. In my opinion, these cracks do not appear to be affecting the performance of the foundation at this time.

There are trees, shrubs and elevated planters in close proximity to the foundation. It should be understood that these items represent a potential for future foundation problems. Shrubs less than 10 feet from the foundation's perimeter should be removed or have a suitable root barrier installed to help prevent root encroachment under the home. Such encroachment can damage the foundation system and in turn, can affect other systems and components which could be costly to repair.

## **B. Grounds, Grading and Drainage**

Anything beyond a distance of six-feet from the primary structure and the primary parking structure is not within the scope of our inspection. As a courtesy we may include our observations of the general condition of paving, fencing, hardscaping or conditions on the property that we think might be useful to you in making your purchase decision. Please note, we do not render opinions regarding soil quality or stability nor determine property lines or ownership of fences.



*Owners Note: Client is urged to keep soil levels a minimum of 4"-6" below top of slab and graded away to promote positive drainage and to prevent water from ponding around foundation. Proper soil levels will also help deter insects should they try to enter the home from the outside. High soil levels are considered conducive for Wood Destroying Insects and can prevent a visual inspection of the foundation in these areas.*

### **Observations:**

**MAINTENANCE:** The soil level at the backyard is graded improperly near the concrete patio and slopes towards the building (see photo below). This can allow water to collect near the structure. Recommend grading soil so it slopes down and away from the building to direct rainwater away.

**DEFECTIVE:** The driveway near the entrance to the home is sloped toward the garage and is allowing water to enter the garage space. Recommend further evaluation by a licensed professional.



Figure 2: concrete patio sloped toward home



Figure 3: water entry into garage

## C. Roof Covering

Our evaluation of the roof is based on our observation of the surface materials, penetrations and drainage. This report is an opinion of the general quality and condition of the roof. Clients are urged to contact their insurance company or warranty as to whether or not a certification is performed. We do not predict life expectancy of various manufactures' specifications of that is over 3 years old. If you think a roof certification is in your best interest you need to consult with a licensed roofer. If possible, we always recommend asking the current owner for documents if any roof warranty is in effect and transferable. We suggest having a licensed pest control operator evaluate all areas or items where moisture, moisture stains or evidence of insects are noted in this report as hidden damage may be present. If the home is to be tented for fumigation, this service sometimes causes roof damage. If the structure is tented, we recommend a follow-up inspection of the roof after tenting has been removed and before the close of this transaction. We further recommend deferring any needed roof repairs until after the tenting has been removed.

Photos are shown to help explain a problem area along with notes, arrows etc. to help call your attention to a particular item of interest



*Owners Note: Roof materials have a limited service life and may have to be spot repaired should leaks develop prior to replacement. Roof maintenance is an ongoing process and includes keeping the roof clear of tree debris, replacing any loose, damaged or missing shingles, and sealing any gaps at flashing materials.*

### Components

**Roof Style:** Gable

**Roof covering:** Asphalt shingles

**Roof Age:** Approximately 10 years. The roofing materials are in their last half of their lifecycle

**Number of Layers:** One

**Roof decking:** 1x4 lumber. This is the material directly under the roof covering noted above

**Roof drains/gutters:** Installed but missing in some areas

**Flashings:** Aluminum

**Skylights:** None

**Method of Inspection:** Walked entire roof

**Observations:**

**MAINTENANCE:** Gutters should be installed at the front entrance to prevent water from collecting and intruding into the garage. Ideally, the gutters would include splash blocks at the base of the downspouts to divert water away from the foundation. A gutter system is also recommended for the rear of the house at the patio cover.

**MONITOR:** The roof covering is deteriorating as expected for the age of the roof. Granules are missing in some areas. Exposed nail heads and all roof penetrations should be sealed to prevent water intrusion.



Figure 4 Roof showing signs of wear



Figure 5: Sealant missing around roof vent

## D. Roof Structure and Attic

Please note that in a typical attic, insulation covers some structural, a majority of the electrical, and some of the mechanical components. Note that attic insulation is never moved or otherwise disturbed, so anything under the insulation was not inspected or otherwise examined.

For this inspection, about 60% of the attic and attic floor was not visible and/or inaccessible due to normal attic conditions (framing, ductwork, insulation, storage, configuration, etc.). Defects and/or other problems could be present but not visible due to these conditions.



*Owners Note: Although evidence of visible water stains may be identified in this report, water penetration from a roof into a living space cannot be predicted as there are many factors involved. For example, some leaks may appear only under very specific conditions (rain and wind coming from a certain direction for example) and later may seem to be cured until the right conditions present themselves once again. If we discover evidence of past water leaks it is prudent to assume these leaks are*

*active unless you are able to verify that all repairs have been completed in a workmanlike manner by a licensed roofing contractor. It is always a good idea to review copies of invoices and warranties if they exist. This should be resolved to your satisfaction prior to the close of escrow.*

How it was inspected: Attic was entered and visually inspected by carefully walking on the framing members that make up the finished ceiling. Not all areas of the attic were accessible and visible. The condition of the visible elements appears to be generally adequate; any visible exceptions are noted below.

## Components

**Insulation type:** Loose fill

**Composition:** Fiberglass

**Thickness:** 3 inches typical

**Ventilation:** Gable vents properly screened and adequately sized

**Floor structure:** 2"x6" dimensional lumber

**Roof structure:** 2"x4" conventional framing

**Lighting:** None

**Access:** Hatch in hallway

## Observations:

DEFECTIVE: The electrical box found near the attic access should have a tight fitting cover. Several of the attic vents were blocked by the loose fill insulation. This can negatively impact the life expectancy of the roof. We recommend clearing the insulation away and installing a product commonly referred to as an "insulation dam" to prevent this.



Figure 6: open electrical box near attic entrance



Figure 7: view of attic showing open vent

IMPROVE: Insulation levels are lower than ideal at approximately R6 to R8. You will realize some energy savings should you decide to follow the guidelines in the illustration below.

### R-VALUE RECOMMENDATIONS



ZONE	ADD INSULATION TO ATTIC		FLOOR
	UNINSULATED ATTIC	EXISTING 3-4 INCHES OF INSULATION	
1	R30 TO R49	R25 TO R30	R13
2	R30 TO R60	R25 TO R38	R13 TO R19
3	R30 TO R60	R25 TO R38	R19 TO R25
4	R38 TO R60	R38	R25 TO R39
5-7	R49 TO R60	R25 TO R30	R25 TO R39

DEFECTIVE: One inch of clearance must be maintained between B-Vent furnace pipe and combustibles. As the photo shows, the framing member to the left is too close and the insulation should be cleared and a dam placed in this area to prevent insulation from encroaching into this clear space.



Figure 8: furnace vent in attic

Charts and graphs from our extensive library help to further explain the topic and offer suggestions on how to improve the home

## E. Walls (interior and exterior)

This inspection does not include testing for the presence of lead based paint. If Client has questions or concerns as to whether any of the interior or exterior surfaces contain lead based paint, it is recommended they consult a qualified environmental testing company to perform testing. The condition of the hidden wood or wood structural members and other components in the wall cavities is unknown to this inspector and therefore no opinion as to the condition of the wood or wood structural

members or other components in hidden areas is either intended or implied by this inspection and written report.

## Components

**Interior walls covered with:** Drywall

**Wall coverings present at:** Wood wainscot at dining nook near kitchen

**Exterior wall surfacing:** Stucco

**Type of Wall Structure:** Conventional wood framing

**Exterior trim material:** None

**Staircases/railings:** None

## Observations:

### Interior Walls

EVALUATE: Cracking observed at several locations near interior doors and windows. This could be normal for the age of the building or it could indicate building movement. Recommend review by licensed professional prior to the close of escrow.



Figure 9: door to hall bedroom



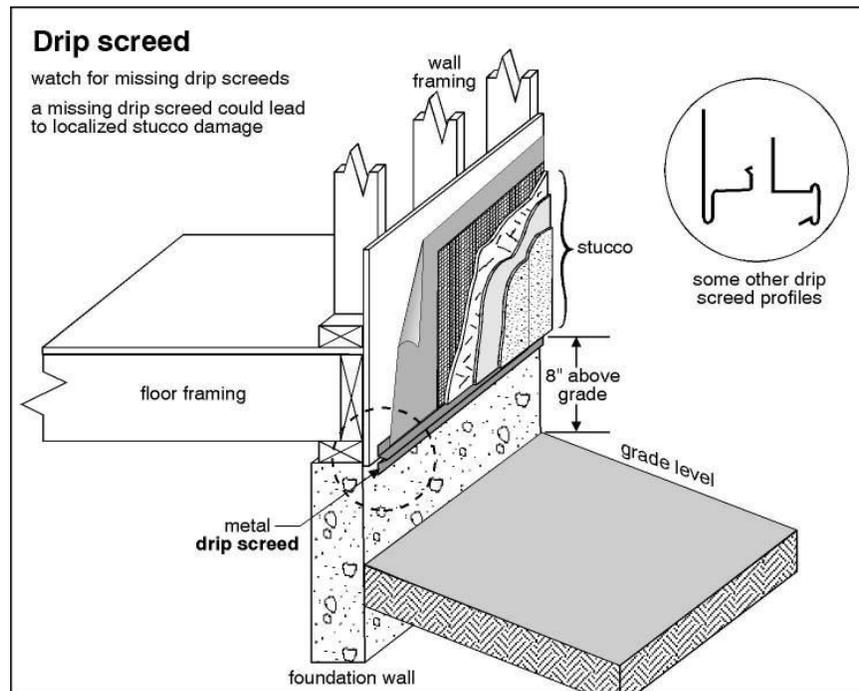
Figure 10: door to master bath

### Exterior Walls

MONITOR: Stucco appears to have been re-surfaced at some point. Soil is in contact with the stucco. This condition can cause stucco siding to blister and slough from the wall near ground level. This was noted near the southeast corner near the ground. It is recommended that two to four inches of clearance between the bottom of the wall and the ground be maintained to help prevent the stucco from wicking moisture from the ground. Stucco is a porous material by nature and will absorb moisture.

Links to websites are shown to provide you with additional background on a topic noted in the inspection report

This spacing also allows moisture to escape, preventing wood-destroying pests and organisms, and helps prevent blistering and sloughing of the stucco. Recommend regular homeowner monitoring and maintenance. For a good read on how to moisture proof the exterior cladding of your home, go here: [http://www.epa.gov/indoorairplus/technical/moisture/1\\_5.html](http://www.epa.gov/indoorairplus/technical/moisture/1_5.html). A cross section of an improved wall system can be seen below.



## F. Ceilings and Floors

The condition of the hidden wood or wood structural members and other components in the ceiling and floor cavities, under the attic space insulation materials, under wood flooring and other floor coverings including the sub flooring, in areas not readily observable, and under the roofing material is unknown to this inspector. No opinion as to the condition of the wood or wood structural members or the other components in these hidden areas is either intended or implied by this inspection and written report.

### Components

**Ceiling Attachment:** Drywall attached to lower side of ceiling joist

**Floor coverings:** Vinyl and carpet

### Observations:

Flooring

**MAINTENANCE:** The subfloor at the hall bathroom has evidence of water damage near the toilet and again between the tub and vanity cabinet. The floor is deemed serviceable at present, but will need to be replaced at some point or certainly during any renovation.



Figure 11: subfloor damage in hall bath



Figure 12: floor is damaged here

## Ceilings

**SERVICEABLE:** Note that all ceiling surfaces are covered with a sprayed on acoustic material i.e. “Popcorn”. Due to the age of the home here is a high probability that the acoustic material contains asbestos. Undisturbed, asbestos cannot become “friable” or airborne so therefore it is said to present very little health risks.

## G. Doors (interior and exterior)

We recommend all locks on the home be changed before moving in. After new locks have been installed, ensure that jambs at striker plates are cut deep enough to allow the new deadbolt locks to fully engage and lock. Dead bolt locks not fully engaged are not locked.

### Components

**Door type:** Interior doors consist of hollow core flat panel, exterior front door is solid core decorative and garage entry door is solid core flat panel. Garage door is a metal roll-up style with a Genie automatic opener.

### Observations:

**MAINTENANCE:** The garage exterior door leading into the backyard is showing signs of weather damage and should be replaced. The garage door is making an unusual noise when opening. Recommend that the mechanism be inspection by a garage door professional.

## H. Windows

Note: Only a representative number of accessible windows are checked for operation during this inspection. Failed thermal paned seals in insulated glass windows are not always detectable. In some instances the inspector may not be able to disclose this condition, particularly if the windows are dirty or it is raining during the inspection. The visible moisture between panes in a failed seal situation may be apparent or not, due to variations in atmospheric conditions. Windows are reported as they are observed at the time of the inspection only. No warranty is implied. If you have present or future concerns regarding the integrity of thermal pane seals, it is strongly suggested that you consult with a Professional Fenestration Specialist for further evaluation.

### Components

**Window Brand:** Unknown

**Material:** Aluminum

**Type:** Single glazed

### Observations:

MAINTENANCE: Some of the windows were difficult to open at the time of inspection. Recommend cleaning the tracks and lubricating the wheels for smooth operation. It is important to keep the drain holes clear to permit water to escape should condensation form on the interior surfaces of the windows and collect in the bottom track. Condensation is more of an issue with single glazed windows and typically only occurs in cold winter months when there is a temperature differential between the warm interior air and the cold outside air.

## I. Driveways and Walks

### Components

**Front driveway:** Poured concrete

**Rear Patio:** Poured concrete with concrete steps at rear sliding glass door

**Perimeter walkways:** Poured concrete

### Observations:

MAINTENANCE: Typical cracking noted at most concrete surfaces. These cracks should be sealed with a caulking specifically designed for this purpose to prevent water intrusion. The rear patio has settled and a crack is present between the house foundation and the patio. This is not typical; however it is fairly common in a home of this age. Again, recommend caulking with a good quality sealant and monitor for further movement.

**SAFETY:** The concrete walkway leading from the driveway to the side gate is elevated and could present a trip hazard. Recommend adding material to create a smooth transition or grinding the elevated section down to meet the lower section.



Figure 13: rear patio crack



Figure 14: raised concrete at front driveway

## J. Other

**Fences:** Appear to be in serviceable condition at time of inspection. Wood fences should be kept sealed, cleaned and regular maintenance and repair should be expected.

**Wood Destroying Insects:** We recommend a semi-annual inspection by a licensed pest control company of all properties in San Diego due to elevated termite activity. Having regular inspections can alert you to the presence of these insects before considerable damage can be done. Wood destroying insects can and do appear without warning. Many pest control companies will perform these inspections for free. Most offer annual service contracts that will include regular inspections and tenting/fumigation if the need arises.

Structural > Electrical > Heating > Plumbing > Appliances > Cabinetry

## A. Service Entrance and Panels

With the exception of the main breaker panel, a condenser disconnect box and wall receptacles, no other equipment or component covers are removed or opened to check electrical wiring. Breakers and fuses located within the service panel(s) are not tested. Attic insulation and shrouds/covers are not removed to determine if fans are correctly installed. Only visible electrical components which are interior to or attached to the exterior walls of the home were inspected. Wiring and all associated components underground, interior to walls, floors and ceilings, not attached to the home or not readily visible in the attic, or otherwise inaccessible or hidden from view, could not be observed by the inspector and are excluded from this inspection. Discrepancies related to the electrical system should be considered as safety hazards.

## Components

**Service supply enters home:** Overhead

**Service conductors:** DEFECTIVE

**Panel Brand:** Most likely Walker but unable to determine

**System Ground:** DEFERRED. We did not find the service ground connection at the cold water pipe or at the driven rod

**Location:** Garage

## Description:

120/240 volt, service panel box with 100 amp main push-button breaker with non-metallic sheathed #2/0 Copper feeder wire with non-metallic fiber sheathed (NM) copper branch wires. Ground wire and grounding rod not present, however ground has been added at select circuits.

## Observations:

**SAFETY:** National electrical safety standards require electrical panels to be weatherproof. The roof is leaking at the weatherhead and permitting water to enter the area around the service box. Due to this increased risk of electrocution, the panel unfortunately could not be opened for evaluation.

**DEFECTIVE:** A drip loop was not present at the weatherhead. This condition may allow moisture intrusion, resulting in damage to electrical components. Correction should be made by a qualified electrical contractor.

**IMPROVE:** The main electrical panel should be provided with labels describing which electrical circuits are controlled by each of the breakers.

## B. Branch Circuits - Connected Devices and Fixtures

We inspect for unsafe wiring conditions and operate a representative sampling of the readily accessible switches, receptacles and lights. We strongly suggest that further evaluation and correction be completed for all electrical defects noted in this report. We recommend asking the seller to replace burned-out light bulbs so you can verify that all lights are operational, and recommend checking all receptacles for proper wiring and grounding prior to the close of this transaction. We advise using a qualified licensed electrician for all repairs, upgrades or modifications of the electrical system.

**DEFECTIVE:** We noted several potentially dangerous electrical conditions that should be corrected. Some of these items include outlets with reversed polarity (hot/neutral) and some three prong outlets with open grounds. Recommend a comprehensive review of the electrical system by a licensed electrician prior to the close of escrow to determine repair costs.

**SAFETY:** Exposed electric wiring in the garage near the workbench and other areas poses a safety hazard. Modern standards generally require electric wires to be protected, which typically (but not in all cases) means enclosed in the structural framing or encased in conduit or a raceway, particularly if below seven feet or in an area where it can easily be damaged. Recommend having any exposed electric wires protected from damage.

**SAFETY:** The electrical connection at the garage door needs a bushing where the Romex wiring enters the metal duplex box.

**SAFETY:** There is an unmounted electrical box in the crawl space near the master bath tub drain. Since the tub drain was leaking into the crawl space at the time of inspection (see plumbing section), we could not safely test this circuit to determine if it was energized. Recommend evaluation by licensed electrician prior to the close of escrow.

**EVALUATE:** The house wiring contains a mixture of older cloth-insulated wiring and newer Romex wiring. Recommend evaluation by a licensed electrical contractor to ensure that this older wiring is safe.

**IMPROVE:** Two-prong outlets present. While common years ago and still acceptable today, the lack of a grounding conductor will limit the use of certain appliances such as refrigerators, washing machines, computers, etc., that require a ground. Dedicated circuits may have to be run to properly and safely use such appliances. Recommend having two-prong outlets upgraded to three-prong outlets. Recommend further evaluation by a licensed electrician for upgrade options.

## **GFCI's**

**IMPROVE:** GFCI's (Ground Fault Circuit Interrupters) are modern electrical devices, either a receptacle or a circuit breaker, which is designed to protect people from electric shock. GFCI's are now required in wet or damp environments. In the event of a fault in an appliance that you are touching, the GFCI would detect the current that passes through your body to ground, and shut the circuit off, protecting you from a potentially fatal shock. We strongly recommend that all receptacles located in the Kitchen, Baths, Garage, at Spas, Hot Tubs, Fountains, Pools, crawl spaces and outdoors be upgraded to the ground fault circuit interrupter type. This should be done by a qualified, licensed electrician. FYI: GFCI's should be tested monthly, as some are known to deteriorate and lock in the hot position. Faulty and/or malfunctioning GFCI breakers and receptacles should be replaced immediately. Appliances such as refrigerators should not be put on GFCI's, as a nuisance trip of the device will cause the loss of food.

## **AFCI's**

**IMPROVE:** One or more bedroom circuits are not protected by an Arc Fault Circuit Interrupter (AFCI). AFCIs are newly developed electrical devices designed to protect against fires caused by arcing faults in the home's wiring. Arc faults can be created by damaged, deteriorated, or worn electrical plugs, cords, and/or branch circuit conductors. AFCIs are required in new construction under current building

standards which have been adopted in most jurisdictions across the country. AFCIs are currently only required for bedroom circuits but may be required for whole home protection in future updates of building standards and regulations. Older homes with aging and deteriorating wiring systems can especially benefit from the added protection of AFCIs. You may wish to consult with a qualified electrical contractor concerning options and costs for updating bedroom branch circuits to AFCI protection for safety reasons.

## Smoke / Carbon Monoxide Alarms

**IMPROVE:** The installation of smoke alarm(s) is required inside of all bedrooms and in any rooms designated for the purpose of sleeping, and outside within the proximity of the doors to those rooms. Test all alarms and detectors weekly or monthly per manufacture instructions . The installation of carbon monoxide (CO) detector(s) is required in homes with fuel-fired appliances at every floor elevation and any areas where fuel-fired equipment is located. The installation of Type ABC fire extinguisher(s) at the kitchen, laundry, and garage, if applicable, is also advised. Test all of these devices monthly. Install new batteries yearly. Initiate and practice plans of escape and protection for all occupants in case any emergencies arise. Failure to repair defective or install absent alarms, detectors, and other safety equipment immediately can result in serious injury or death. For further information about fire safety and CO poisoning, consult your local fire department and your equipment manufacture(s), and feel free to read these links to learn more: [www.cpsc.gov/CPSCPUB/PUBS/464.pdf](http://www.cpsc.gov/CPSCPUB/PUBS/464.pdf), [www.carbonmonoxidekills.com](http://www.carbonmonoxidekills.com), [www.nfpa.org/index.asp](http://www.nfpa.org/index.asp), and [www.usfa.dhs.gov/downloads/pyfff/inhome.html](http://www.usfa.dhs.gov/downloads/pyfff/inhome.html).



### A. Heating Equipment

Heating and central air conditioning systems identified and reported include heating and cooling equipment, ventilation, energy source and connections, and the distribution system including a sampling of ducting, outlets, piping systems and valves. Adequacy, efficiency, or the even distribution of air throughout a building is not addressed during our visual inspection. Modern furnace heat exchangers are generally not fully visible without disassembly and are beyond the scope of this inspection. Thermostats are not checked for calibration or timed functions.

#### Description:

Heat is provided at this home by a warm air gas furnace. Unit cycled properly when the call for heating came and no operational problems were noted at this time.

<b>Location:</b> Hall	<b>Exhaust Flue:</b> SERVICEABLE
<b>Type:</b> Forced air furnace	<b>Combustion Air:</b> SERVICEABLE
<b>Fuel:</b> Natural gas	<b>Blower Motor:</b> SERVICEABLE
<b>Rating:</b> BTU/H= 60,000	<b>Filter:</b> MAINTENANCE
<b>Clearances:</b> SERVICEABLE	<b>Return Air:</b> SERVICEABLE
<b>Burner:</b> SERVICEABLE	<b>Plenum:</b> SERVICEABLE
<b>Condensate Drain:</b> Pre-plumbed for AC	<b>Temp Rise:</b> 65 - 88 = 23° F

### Observations:

**MANITENANCE:** Furnace air filter needs cleaning or replacement. Clogged filters can restrict air flow and increase internal temperatures, possibly resulting in fires. A clean air filter will help increase the efficiency and prolong the life expectancy of the heating and cooling system. Due to the expense of repairing or replacing heating and air conditioning systems and the damage that can be caused by dirty or clogged coils, we recommend replacing the filter and performing a complete system evaluation by a licensed heating and cooling professional, particularly if it cannot be proven that such an evaluation has been done within the past twelve months.

### B. Cooling Equipment



*Owners Note: I recommend having the air conditioner(s) cleaned, serviced and adjusted for peak operation prior to closing and then annually prior to the first use. This includes having the condensate drain lines cleaned and flow tested. I also recommend upgrading any unit older than 10 - 12 years old or one that has bent/damaged/loose fitting panels. This will likely reduce your cooling costs significantly. Failure to have these annual check-ups can lead to expensive repairs,*

*high cooling bills or replacement of the system.*

**Warning:** Our inspection of the heating and air conditioning systems in this home will not likely meet the underwriting requirements of a home warranty company should you chose to contract with one as part of your real estate transaction. Many of these companies have been known to deny coverage due to subjective and often questionable code compliance and maintenance arguments. We recommend you call the home warranty company you will be using (if any) and ask for the HVAC company that they recommend and use in San Diego. Have your system further evaluated by *this* company to insure it meets the underwriting guidelines of the home warranty company you have chosen. Failure to do so may result in your company denying future claims.

**Attention!** As of January 23, 2006, HVAC manufacturers are no longer allowed to produce condensing units under 13 SEER. 13 SEER units are larger and more expensive. Many home warranty companies may not cover replacement of the existing HVAC components if the current system fails and requires replacement. Since 13 SEER units are larger, modifications may be needed to the structure and/or

landscape for the newer systems to be installed and to function properly. These modifications may also not be covered by the home warranty companies. You should contact the home warranty company that you will be using and ensure that 13 SEER units plus any necessary modifications will be covered should a claim arise. Determining the cooling capacity and SEER rating of HVAC systems is outside the scope of this inspection.

Unless stated below, the evaporator coil could not be accessed for inspection. Evaporator coils are enclosed in a sealed housing and this housing should only be dismantled by a qualified & licensed HVAC contractor.

### Components

**Brand:** Carrier/Bryant

**Model:** 561CJX03000

**Compressor location:** North side of home

### Description:

The air conditioner could not be tested for risk of damaging the unit due to low ambient temperatures. Most manufacturers recommend that an A/C unit not be used if outside temperatures are below 60° F.

Note: The primary A/C drain lines terminate at the crawl space directly beneath the furnace.

## C. Ducts and Vents



*Owners Note: We recommend having the duct system pressure tested for leakage. This is beyond the scope of this inspection; however, many older duct systems leak (especially metal duct systems).*

### Observations:

IMPROVE: When heating, there was a temperature difference at the ducts at various points within the home. Temperatures ranged from 86 – 92° F. It was discovered that some of the insulation was missing on the ductwork in the attic. Adding additional insulation around the ducting should make the system more energy efficient.

Structural > Electrical > Heating > Plumbing > Appliances > Cabinetry

## A. Water Supply System and Fixtures

Only visible plumbing components which are interior to or attached to the exterior walls of the home were inspected. Unless otherwise stated below, tubs and sinks are filled and then drained for inspection of leaks at visible plumbing. Plumbing and all associated plumbing components underground, interior to walls, floors and ceilings, not attached to the home or not readily visible in the attic, or otherwise inaccessible or hidden from view could not be observed by this Inspector and are excluded from this inspection. All plumbing repairs noted under "Plumbing System" should be performed by a qualified and licensed Plumbing contractor. Water filtration systems and water softener systems are outside the scope of this inspection and are not inspected. We recommend you have a qualified contractor and/or the seller to demonstrate the proper use and verify proper function of these systems before closing.

### Components

**Main Shut-Off Location:** Front of house

**Main Shut-Off Valve:** Appears SERVICEABLE, not tested as this often causes leaking

**Water Meter Location:** Front Sidewalk to the left of the driveway

**Water Pressure:** SERVICEABLE @ 55 PSI

**Functional Flow:** MONITOR

**Hose Faucets:** SERVICEABLE

**Supply Lines:** Portions of the pipes that are visible are copper. Most of the water lines are concealed due to the construction finish materials and are not visible for inspection.

### Observations:

IMPROVE: Backflow preventers (atmospheric vacuum breakers) were not noted on all exterior hose bibs but should be installed as required by current standards. These are inexpensive products that can be attached without special tools which prevent contaminated water from being siphoned back into the potable water lines during city water pressure outages.

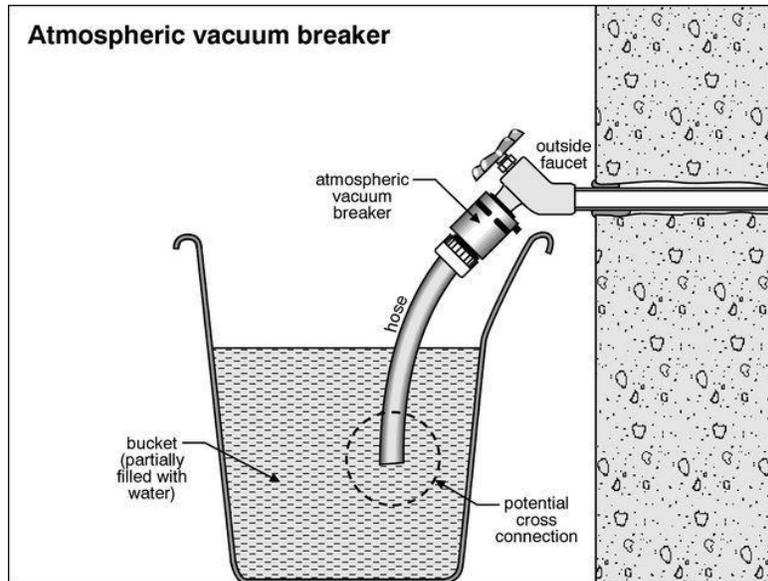


Figure 15: backflow preventer

**MONITOR:** Functional water flow low at sink in hall bath while tub is filling. This condition sometimes is caused by dirty faucet strainer caps or shutoff valves under the sink that have been turned down. Other causes or multiple causes are possible. Individuals have their own perceptions of adequate water flow when multiple water-using appliances are being used at the same time. We recommend Client judge adequacy of water flow and subsequent further evaluation by licensed plumbing professional if Client deems water flow is unsatisfactory.

## B. Drains, Wastes, Vents

Water was run down each drain to check for drainage and leaks in the waste system. While this test is somewhat effective in determining if active leaks are present in the visible portions of the waste plumbing system, the brevity of a test like this cannot simulate the waste flows which you would find when the home is operating at full occupancy. There may be partial blockage of the sanitary drain lines buried in the yard, from broken pipes or tree roots that might not manifest until the system was being used at full capacity. Examination of such partial blockage is beyond the scope of this inspection and requires very specialized equipment. If drain stoppages do occur in the future, you should immediately bring this to the attention of a licensed plumber for further evaluation.

### Components

**Supply Lines:** Portions of the pipes that are visible are a combination of cast iron, steel and ABS. Most of the waste lines are concealed due to the construction finish materials and are not visible for inspection.

### Observations:

**DEFECTIVE:** The tub drain in the master bathroom is leaking. In the inspectors opinion it appears to be leaking at the junction where the plumbing drain meets the tub.

**MONITOR:** The sink and tub in the master bath drain slower than the equivalent components in the hall bath. These fixtures share the same plumbing system so it is likely that the blockage is near the fixtures as opposed to deeper within the plumbing system.



Figure 16: view of plumbing system from crawlspace



Figure 17: active leak

## C. Water Heating Equipment

Recommend draining and flushing unit at least once a year to reduce deposits/noise and extend life.

Note: The T&P valve is a safety device that releases water from the heater (ideally to the outside of the dwelling) if the temperature of the water, or the pressure in the tank, reaches certain preset levels. This is so that water that may have exceeded the boiling point due to a runaway burner or electric element control that fails to function properly does not result in a steam explosion should the tank burst. For a video of what it looks like when a water heater blows visit our website here:

<http://www.sandiegohomeinspect.com/blog/home-safety/video-water-heater-rocket>. T&P valves should be tested regularly and replaced every 3 years per the manufacturer's instructions by a qualified and licensed plumber.

### Components

**Location:** Garage

**Year of Manufacture:** 2010

**Capacity:** 40 gallon

**Fuel:** Natural gas

**Safety Release Valve:** Present, not tested as leaking can occur.

### Observations:

DEFERRED. The vent pipe carrying exhaust gases from the water heater out the garage roof has characteristics consistent with Transite Flue Pipe, which contains asbestos. Usually asbestos is only a concern if the material becomes friable, or airborne, at which time it can enter your respiratory tract and cause illness, and in severe cases cause lung cancer and even death. Only a lab can determine if asbestos is present. If you feel this is a concern, please contact an environmental lab in San Diego to have testing performed.

Structural > Electrical > Heating > Plumbing > Appliances > Cabinetry

Appliances are tested using normal operating controls by turning them on for a short period of time. It is recommended that appliances be operated once again during the final walkthrough inspection prior to closing. Appliance thermostats, timers, clocks and other specialized cooking functions and features are not tested during this inspection. Dishwasher temperature calibration, functionality of timers, effectiveness, efficiency and overall adequacy is outside the scope of this inspection.

**Dishwasher** - SERVICEABLE

**Garbage Disposal** - SERVICEABLE

**Range, Oven, Cooktop** - SERVICEABLE

**Hood/Exhaust Fan** - DEFECTIVE. Blower does not operate.

**Refrigerator** - SERVICEABLE

**Washer** - Not tested per Client request. According to Client, items will be sold.

**Dryer** - Not tested per Client request. According to Client, items will be sold.

**Dryer Vent** - IMPROVE. The dryer vent was corrugated, flexible ducting. Today's standards for new construction specify that corrugated pipe may be used only within the first 8 feet and may not be concealed within construction, and this is recommended for fire safety reasons. The concealed ducts should be rigid metal ducts or equivalent and vented to the exterior of the home. It has been reported that there are approximately 20,000 dryer related fires each year due to use of unapproved materials and poor connection techniques.

Structural > Electrical > Heating > Plumbing > Appliances > Cabinetry

A visual inspection of the cabinetry in the kitchen and bath(s) can reveal many things about how the home was maintained overall. Damaged drawers, hinges, scratches to the cabinet surfaces, evidence of pest infestation, water issues and more can be analyzed. Note that while cabinets may function well during the inspection, these are complex assemblies that can fail at any time.

### Components

**Cabinet style:** Face frame, full backs (wall not exposed)

**Door style:** Raised panel wood

**Door Hinges:** Surface mounted, non self-closing spring

**Drawer construction:** Solid pine

**Drawer slides:** Metal roller bearing

**Countertop:** Plastic laminate

### Observations:

IMPROVE. Client indicates that the kitchen will be completely remodeled and a cursory overview was what Client was requesting in this area. From that perspective, the cabinetry appeared serviceable at the time of inspection. Doors and drawers functioned as expected for the age of the millwork.



Figure 18: view of the kitchen



Figure 19: agent in kitchen

## Addendum: Report Overview

### **The house in perspective**

This is an average quality 45 year old home (approximate age) that needs repairs and upgrades to major components and systems. Apart from the short term need to deal with these issues, the improvements that are recommended in this report are not considered unusual for a home of this age and location. Please remember that there is no such thing as a perfect home.

### **The scope of the inspection**

This inspection is visual only. A representative sample of building components are viewed in areas that are accessible at the time of the inspection. No destructive testing or dismantling of building components is performed. It is the goal of the inspection to put a home buyer in a better position to make a buying decision. Not all improvements will be identified during this inspection. Unexpected repairs should still be anticipated. The inspection should not be considered a guarantee or warranty of any kind.

### **Weather conditions during inspection**

Wet weather conditions prevailed at the time of the inspection. The estimated outside temperature was 58° F. An unusual amount of rain has been experienced in the days leading up to the inspection.

## Addendum: Foundation Maintenance

The following information is taken from the Post Tensioning Institute textbook describing the Design and Construction of Post Tensioned Slab-on-Ground foundation systems. The article refers to Post-Construction conditions. Slab-on-Ground foundation systems are similar to a post tensioned system. The information provided in all reports to help clarify a topic or provide additional detailed information including post and pier configurations.

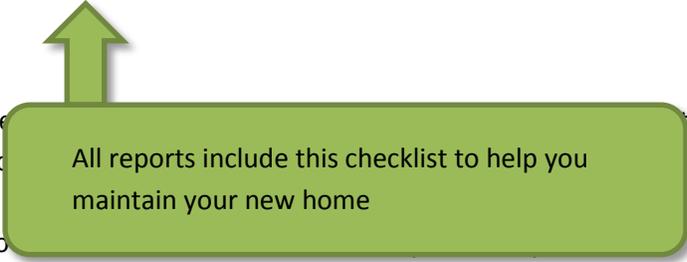
We custom tailor addendums and include these in all reports to help clarify a topic or provide additional detailed information

- Planting flower beds or shrubs next to the foundation and keeping these areas flooded will generally cause a net increase in soil moisture content and result in soil expansion around the foundation perimeter in that vicinity. Planting shade trees closer to the structure than a distance equal to half the mature height of the tree will allow the tree roots to penetrate beneath the foundation and withdraw moisture from the soil; the result will be a soil shrinkage in the region of the roots. Redirecting surface runoff channels or swales by the owner can result in improper drainage as detailed above. To minimize movement in soils due to post construction factors that are not climate related, the following homeowner's maintenance procedures are recommended.
- Initial landscaping should be done on all sides adjacent to the foundation and drainage away from the foundation should be provided and maintained.
- Watering should be done in a uniform, systematic manner equally as possible on all sides of the foundation to keep the soil moist. Areas of soil that do not have ground cover may require more moisture, as they are more susceptible to evaporation.
- Ponding or trapping of water in localized areas adjacent to the foundations can cause differential moisture levels in subsurface soils which can negatively affect the foundation.
- Studies have shown that trees within 20 feet of foundations have caused differential movements in foundations. Monitor trees in close proximity to a home for possible root damage.
- During extreme hot and dry periods, close observations should be made around foundations to insure that adequate watering is being provided to keep soil from separating and pulling back from the foundations.

## ADDENDUM: Maintaining Your New Home

### Upon Taking Ownership

After taking possession of your new home, there are several items that should be addressed immediately. The following checklist is provided to help you with these items:



All reports include this checklist to help you maintain your new home

1. Complete all of the improvements noted in the inspection report.
2. Change all the locks on the exterior entrances for improved security.
3. Check that all windows and doors are secure. Improve window hardware as necessary. Security rods can be added to sliding windows and doors. Consideration could also be given to a security system.
4. Install smoke detectors on each level of the home. Ensure that there is a smoke detector outside all sleeping areas. Replace batteries on any existing smoke detectors and test them. Make a note to replace batteries again in one year.
5. Create a plan of action in the event of a fire in your home. Ensure that there is an operable window or door in every room of the house. Consult with your local fire department regarding fire safety issues and what to do in the event of a fire.
6. Examine driveways and walkways for trip hazards. Undertake repairs where necessary.
7. Examine the interior of the home for trip hazards. Loose or torn carpeting and flooring should be repaired.
8. Undertake improvements to all stairways, decks, porches and landings where there is a risk of falling or stumbling.
9. Review your home inspection report for any items that require immediate improvement or further investigation. Address these areas immediately.
10. Install rain caps and vermin screens on all chimney flues, as necessary.
11. Investigate the location of the main shut-offs for the plumbing, heating and electrical systems.

### Regular Maintenance

#### Every Week

1. Check that the soil around the perimeter of the house is clinging tightly to the edge of the foundation. If there is any space between the soil and the concrete, the soil is too dry and you should increase the frequency with which you water.
2. Periods of dry weather occur in all seasons. Inspect this item weekly.

#### Every Month

1. Check that fire extinguishers are fully charged. Re-charge if necessary.
2. Replace heating/cooling air filters.

3. Inspect and clean humidifiers and electronic air cleaners.
4. Test the Temperature and Pressure Relief Valve on the Water Heater(s) for proper operation. Replace if defective.
5. Clean gutters and downspouts. Ensure that downspouts are secure, and that the discharge of the downspouts is appropriate.
6. Carefully inspect the condition of tub and shower enclosures. Repair or replace deteriorated grout and caulk. Ensure that water is not escaping the enclosure during showering. Check below all plumbing fixtures for evidence of leakage.
7. Repair or replace leaking faucets or shower heads.
8. Secure loose toilets, or repair flush mechanisms that become troublesome.
9. Operate all of the doors in the house to ensure that none are sticking or binding at the jambs. Door frames out of square is an indication of excessive foundation movement.
10. Test all ground fault circuit interrupter (GFCI) and arc fault circuit interrupter (AFCI) devices, as identified in the inspection report. If these devices do not trip or reset properly, they should be replaced immediately.

### Spring and Fall

1. Examine the roof for evidence of damage to roof coverings, flashings and chimneys.
2. Look in the attic (if accessible) to insure that roof vents are not obstructed. Check for evidence of leakage, condensation or vermin activity. Level out insulation if needed to be sure there are no bare spots.
3. Trim back tree branches and shrubs to insure that they are not in contact with the house. Remove any leaves from the roof decking.
4. Inspect the exterior walls and foundation for evidence of damage, cracking or movement. Watch for bird nests or other vermin or insect activity.
5. Survey the crawl space walls for evidence of moisture seepage.
6. Look at overhead wires coming to the house. They should be secure and clear of trees or other obstructions.
7. Ensure that the grade of the land around the house encourages water to flow away from the foundation.
8. Inspect all driveways, walkways, decks, porches, and landscape components for evidence of deterioration, movement or safety hazards.
9. Clean windows and test their operation. Improve caulking and weather-stripping as necessary. Watch for evidence of rot in wood window frames. Paint and repair window sills and frames as necessary.
10. Inspect for evidence of wood-destroying insect activity. Eliminate any wood/soil contact around the perimeter of the home.
11. Test the overhead garage door opener (if present), to ensure that the auto-reverse mechanism is responding properly. Clean and lubricate hinges, rollers and tracks on overhead doors.
12. Replace or clean exhaust hood filters.

13. Clean, inspect and/or service all appliances as per the manufacturer's recommendations.
14. Have the heating, cooling and water heater systems cleaned and serviced.

### Annually

1. Replace smoke and CO detector batteries.
2. Have chimneys inspected and cleaned. Ensure that rain caps and vermin screens are secured.
3. Examine the electrical panels, wiring and electrical components for evidence of overheating. Ensure that all components are secure. Flip the breakers on and off to ensure that they are not sticky.
4. If the house utilizes a well, check and service the pump and holding tank. Have the water quality tested. If the property has a septic system, have the tank inspected (and pumped as needed).
5. Have the home inspected by a licensed wood-destroying insect specialist. Preventative treatments may be recommended in some cases.

### Prevention is The Best Approach

Although we've all heard it many times, nothing could be truer than the old cliché "an ounce of prevention is worth a pound of cure." Preventative maintenance is the *best* way to keep your house in great shape. It also reduces the risk of unexpected repairs and improves the odds of selling your house at fair market value, if and when the time comes.

**Dear Client,**

I wanted to thank you for entrusting me to perform your recent home inspection. Hopefully the experience offered some insight into the home you are considering for purchase. We hope you are enjoying the booklet we gave you following the home inspection entitled Now That You've Had a Home Inspection. This book was authored by the founder of the International Association of Certified Home Inspectors and is packed full of information on how to properly maintain your new home. Especially important are the seasonal checklists which I recommend you use to keep your home in top shape.

As a client of ours, you are now eligible for our *Premium Service Partners Program*. Through an exclusive relationship, we have partnered with some of the best home-service companies in the country with the goal of providing our clients with exclusive offers and services. We've done this in an effort to bring extra value to each of our home inspections while keeping our prices so incredibly low. Included in the packet you received at your inspection you will find information from Broadview Security™ (formerly Brinks Home Security), RecallChek® and Residential Warranty Services, Inc. (RWS).

**How our Premium Service Partners program works.**

You simply let us know that you would like to participate in the program. When you do, you will receive a phone call from Broadview Security™ asking to setup an appointment at your house to discuss the purchase of a security system. *Please note, you are under no obligation to set an appointment, and you will receive only one call from Broadview Security™. After one call, you will be automatically enrolled in Broadview Security™. Broadview Security™ provides a 3-year warranty from RWS which covers structural and electrical issues. You are welcome to inquire about their service offerings when speaking with them and do let me know if you would like to participate.*

↑  
Additional value added services offered at no cost to you

Feedback is always welcome and appreciated. We love to hear from our customers. So much so, that we have another offer for you! If you would be so kind as to visit our website and write a quick review about your experience with us, we will send you a **high quality carbon monoxide sensor, a \$30.00 value absolutely FREE\***! No installation required, just plug it in to keep your family safe from this harmful gas. The review should take no more than 5 minutes to complete. Visit our website and click the 'Rate Us' link at the bottom left menu for details or simply [click here](#) to be taken directly to our webpage.

Best wishes on your new home! Call us anytime you have questions.



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\*not valid in conjunction with any other offer or discount, including our \$199 flat rate inspections.

A summary at the end of the report indicates the most significant findings. This is your best negotiating tool!

### ADDENDUM: Summary

Here you will find a summary of the more significant findings that have come out of the recent home inspection. Please note that this is not an exhaustive list of all items identified in this report. You must read the report in its entirety.

Item	Page	Notes
EVALUATE: The bisecting concrete wall in the crawlspace show signs of possible movement as evidenced by a lateral crack running ¼ the length of the wall.	6	
DEFECTIVE: The driveway near the entrance to the home is sloped toward the garage and is allowing water to enter the garage. Recommend further evaluation by a licensed professional.	7	
DEFECTIVE: The electrical box found near the attic has a loose, tight fitting cover. Several of the attic vents were missing or had no insulation.	8	
DEFECTIVE: One inch of clearance must be maintained between B-Vent furnace pipe and combustibles.	11	
EVALUATE: Cracking observed at several locations near interior doors and windows. This may be a sign of foundation movement or it could be due to settling of the building or it could be due to shrinkage of the concrete.	12	
DEFECTIVE: The driveway from the driveway to the side gate is sloped toward the house.	16	
SAFETY: National electrical safety standards require electrical panels to be weatherproof. The roof is leaking at the weather head and permitting water to enter the area around the service box.	17	
DEFECTIVE: A drip loop was not present at the weather head. This condition may allow moisture intrusion, resulting in damage to electrical components.	17	
DEFECTIVE: We noted several potentially dangerous electrical conditions that should be corrected. Some of these items include outlets with reversed polarity (hot/neutral) and some three prong outlets with open grounds.	17	
SAFETY: Exposed electric wiring in the garage near the workbench and other areas poses a safety hazard.	18	
SAFETY: The electrical connection at the garage door needs a bushing where the Romex wiring enters the metal duplex box.	18	
SAFETY: There is an unmounted electrical box in the crawl space near the master bath tub drain.	18	
EVALUATE: The house wiring contains a mixture of older cloth-insulated wiring and newer Romex wiring. Recommend evaluation by a licensed electrical contractor to ensure that this older wiring is safe.	18	
DEFECTIVE: The tub drain in the master bathroom is leaking. In the inspectors opinion it appears to be leaking at the junction where the plumbing drain meets the tub.	23	

Include your own notes here - priority number, who's responsible for fixing, phone numbers, etc.

Some clients use this column to check off when the items have been completed

	Item	Page	Notes
	DEFERRED. The vent pipe carrying exhaust gases from the water heater out the garage roof has characteristics consistent with Transite Flue Pipe, which contains asbestos.	24	

We are glad you have taken the time to review our sample home inspection report. Now go look at others. We think we offer the best home inspection report in the business.